

PLANNING COMMITTEE REPORT

Development Management Service
Planning and Development Division
Environment and Regeneration Department
PO Box 333
222 Upper Street
LONDON N1 1YA

PLANNING SUB- COMMITTEE A		
Date:	1 st November 2016	NON-EXEMPT

Application number	P2016/3020/FUL
Application type	Full Planning Application
Ward	St Mary's
Listed building	Not listed
Conservation area	St Mary Magdalene Conservation Area
Development Plan Context	<ul style="list-style-type: none">- Building Structure to be Retained- Conservation and Heritage- Small Sites Affordable Housing Contributions
Licensing Implications	None
Site Address	Amber Court, 1 Bride Street, Islington, LONDON N7 8PY
Proposal	Single storey roof extension to provide 1 x three-bedroom flat and 1 x four-bedroom flat, single storey rear extension at ground floor level to provide a new entrance area and cycle store, and the replacement of all windows with aluminium frames and zinc panels.

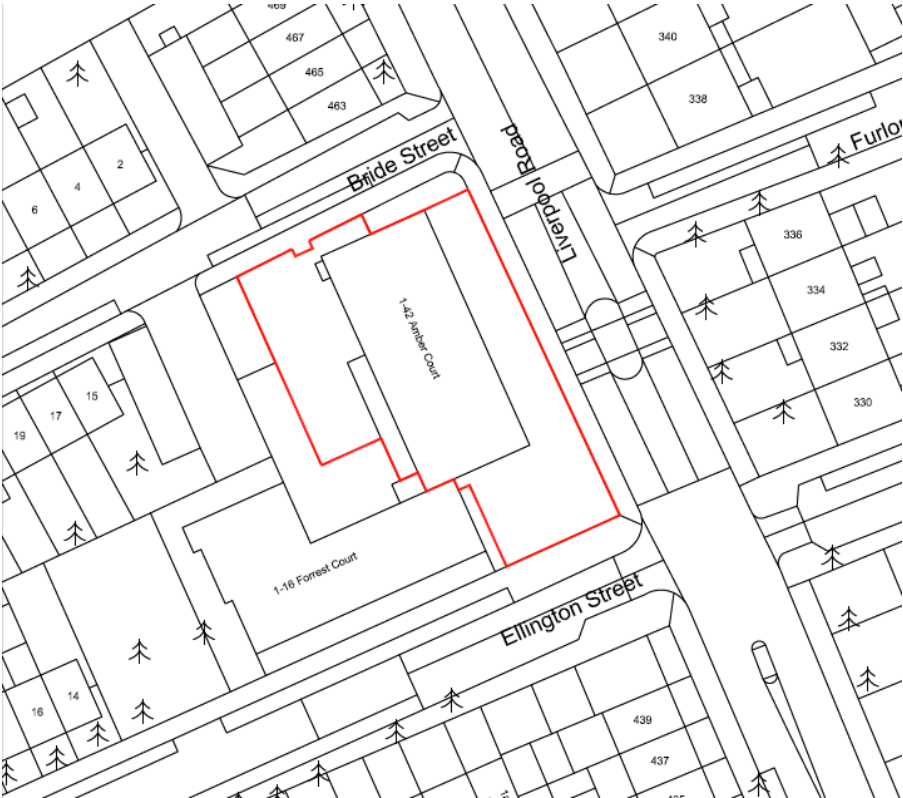
Case Officer	Ben Oates
Applicant	Mr Guy Ziser
Agent	178a Ltd - Mr Ben Rogers

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission subject to:

1. The conditions set out in Appendix 1; and
2. Completion of a Deed of Planning Obligation made under section 106 of the Town and Country Planning Act 1990 securing the contributions for affordable housing, carbon offsetting and ensuring the development remains car free.

2. SITE PLAN (site outlined in black)



3. PHOTOS OF SITE/STREET



Image 1: Aerial view of street elevation (looking north-west)



Image 2: Aerial view of rear elevation (looking south-east)



Image 3: Front elevation from Liverpool Road



Image 4: Front elevation from Liverpool Road



Image 5: Rear elevation from Bride Street



Image 6: View of Forrest Court from Amber Court Roof



Image 7: Existing entrance to Amber Court



Image 8: 1966 Aerial Photo with Conservation Area shaded.

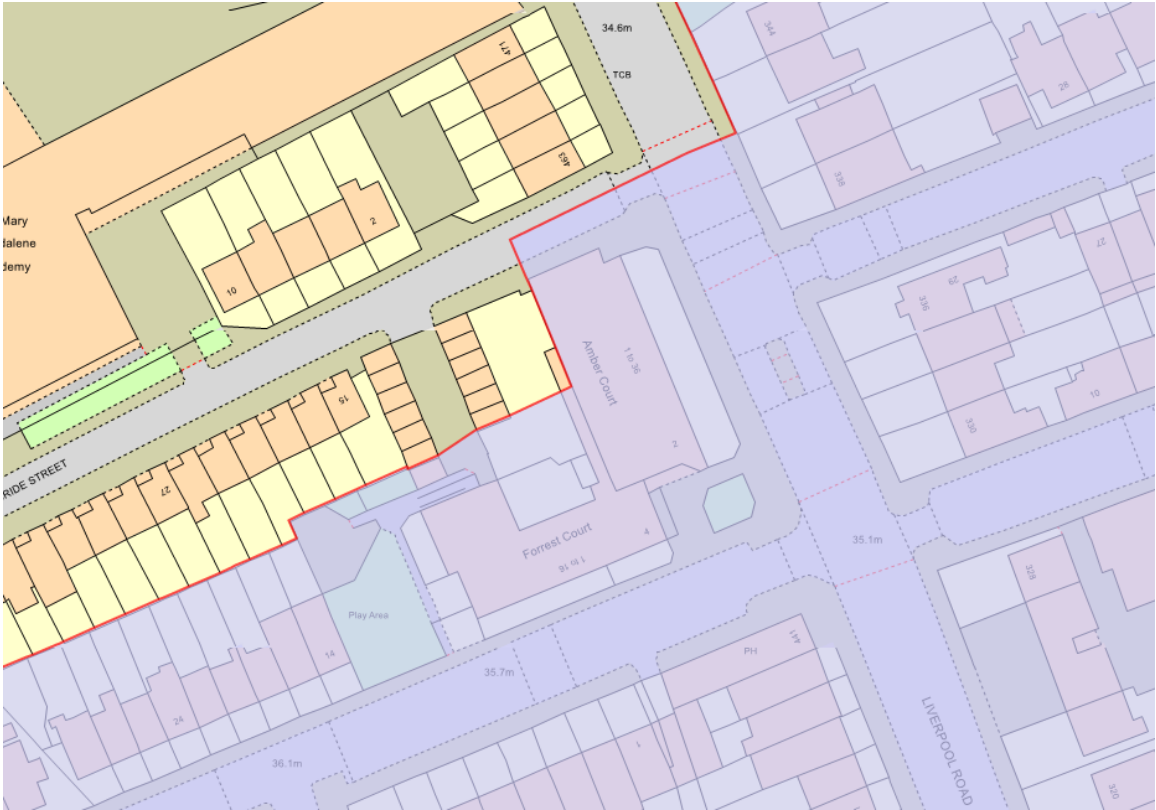


Image 9: Current cadastre map with Conservation Area shaded.

4. SUMMARY

- 4.1 The application seeks permission for the erection single storey extension to the roof of the four storey building of Amber Court to provide 2 self-contained flats (1no. three-bedroom unit and 1no. four-bedroom unit) together with an improved new entrance with associated refuse stores and cycle storage facilities and replacement of external materials that are in need of repair.
- 4.2 The principle of the development is considered acceptable with sufficient private amenity space provided. The area is predominantly residential and the site is located within the St Mary Magdalene Conservation Area and nearby grade II listed buildings opposite on Liverpool Road and Ellington Street. It is considered that the existing building makes no contribution to the character and appearance of the Conservation Area; however special considerations have been given in the assessment to the potential impacts of the setting of the nearby heritage assets.
- 4.3 The single storey design, layout, scale and massing of the proposed development is considered to be visually acceptable and would not dominate the host block of flats in this location. The proposal includes sufficient setbacks from the front and side elevations to conceal it from sensitive viewpoints, which is considered to sufficiently address the concerns raised in the previously refused application (ref: P2016/0719/FUL).
- 4.4 The quality and sustainability of the resulting scheme is acceptable, complying with the national and local floorspace standards required by the National Housing Standards, London Plan and Mayor's Housing SPG (Nov 2012). The Core Strategy aims to ensure that in the future an adequate mix of dwelling sizes are delivered within new development, alongside the protection of existing family housing. Policy CS12 (Meeting the housing challenge) notes that a range of unit sizes should be provided within each housing proposal to meet the need in the borough, including maximising the proportion of family accommodation. Development Management Policy DM3.1 (Mix of housing sizes) further states the requirement to provide a good mix of housing sizes. The proposal contains a three-bedroom and a four-bedroom flat, which will contribute to the stock of larger dwellings in this part of the borough.
- 4.5 Private amenity space is provided in accordance with the Council's requirements. It is proposed that the new build dwellings would be constructed to meet the standards set by the Code for Sustainable Homes.
- 4.6 The redevelopment of the site has no vehicle parking on site and occupiers will have no ability to obtain car parking permits (except for parking needed to meet the needs of disabled people), in accordance with Islington Core Strategy policy CS10 Section which identifies that all new development shall be car free. Appropriately located cycle parking facilities for residents have been allocated within the site in accordance with Transport for London's guidance: 'Cycle Parking Standards – TfL Proposed Guidelines'.
- 4.7 In summary, the proposal is considered to be acceptable and is broadly in accordance with the Development Plan policies.

5. SITE AND SURROUNDING

- 5.1 The application site comprises a large four storey residential building known as Amber Court, which is situated on the south-western corner of Bride Street and Liverpool Road. The building, which was constructed in the 1970's, presently contains residential flats and joins at its south-western corner to Forrest Court, which is also a purpose built block of residential flats. The main entrance to Amber Court is located at the end of the gated courtyard accessed from Bride Street.

5.2 The subject property is not listed however it does mostly lie within St Mary Magdalene Conservation Area; however the Conservation Area boundary still follows the historic property boundaries of the terraced residential properties that occupied the site before Amber Court and Forrest Court were constructed. This causes the Conservation Area boundary to cut through the application site as can be seen in images 8 and 9.

5.3 The surrounding properties are predominantly residential of two to three storeys in height and vary in age, built form and character. The nearby properties along Bride Street are post-war terraced dwellings. However the properties opposite on Liverpool Road to the east and to the south on Ellington Street are Grade II Listed Victorian houses, with the exception of the end of terrace building at 1A Ellington Street. The Dutchess of Kent Public House, which is located on the corner of Ellington Street and Liverpool Road, is also Grade II Listed.

6. PROPOSAL (IN DETAIL)

6.1 The proposed development seeks planning permission for the construction of single storey roof extension to provide 2 self-contained dwellings (1 x three-bedroom flat and 1 x four-bedroom flat), a single storey rear extension at ground floor level to provide a new entrance area and cycle store, and the replacement of all windows with aluminium frames and zinc panels.

6.2 The development would be situated on top of the existing four storey flat roofed building and would be accessed through the existing entrance core to the building with a relatively simple extension of the building's existing staircase and lift to provide step free access. The proposed development would have a height of 2.8m above the existing flat roof, which would increase the total height of the building to 13.8m above ground level. The total length of the proposed roof extension at its longest dimension would be 30.3m and the width at its widest dimension would be 18.2m. The previously refused application was 32.6m in length and 11.4m in width whilst the height would remain the same. The front parapet, which is currently 0.4m above the roof level, would also be raised by 0.5m to provide a total height of 0.9m above roof level.

6.3 The proposed roof extension would be set back further from the front and side elevations to reduce its visibility from sensitive viewpoints along Liverpool Road to the east and Ellington Street to the south. The proposed setback distances are demonstrated on drawing number 17, which includes the following:

- 3.4m from the northern elevation (the previous set back was 2.4m);
- 2.6m from the southern elevation (previously had no set back);
- 3.5m from the eastern elevation (the previous set back was 1.5m); and
- The proposed glazed balustrade would be set back 1.0m from the front parapet (previously not set back)

6.4 The extension would be of a contemporary style with generous setbacks from the northern, eastern and southern elevations to reduce the visibility of the proposal from Liverpool Road and Ellington Street. Roof terraces serving each new unit are proposed within the setback area of the roof; however these would be enclosed by glazed balustrades, which would also be setback to avoid detection from the street level. The extension is proposed to be finished in zinc, and would have aluminium double glazed windows.

6.5 The proposed residential development would provide a three-bed flat and a four-bed flat with good quality living environment and accessible kitchen, living and dining rooms and access to a roof terrace. The proposal would also provide a new entrance at ground level with additional cycle storage, which is designed to complement the original appearance of the building and respond to the proposed additions by consisting of matching brickwork and timber louvered panels. It would extend the existing entrance with length and width dimensions of 3.9m x 3.9m whilst the bicycle store would be 4.6m x 2.4m and both would be 3.2m in height.

- 6.6 The proposed replacement windows would match the existing original windows in style and material so as not to impact the appearance of the building. Many of the existing windows are in need of replacement and their replacement is only for maintenance purposes. The property has also suffered over the years from the theft of lead cladding features around the fenestrations, particularly where close to the ground. Therefore it is proposed to replace the lost cladding with zinc to match the proposed roof extension and to replace the remaining existing lead cladding with zinc in order to provide a consistent appearance to the building.

Amendment:

- 6.7 A minor amendment was made to the application by the addition of a window to the southern wall of the end bedroom in proposed flat 1.

7. RELEVANT HISTORY:

Planning Applications:

- 7.1 P2016/0719/FUL - Single storey roof extension to provide 1 x three-bedroom flat and 1 x four-bedroom flat, single storey rear extension at ground floor level to provide a new entrance area and cycle store, and the replacement of all windows with aluminium frames and zinc panels. Refused:

REASON: By reason of its unsympathetic design, excessive size and extent on the roof, the proposed roof extension and associated works would create additional bulk and massing to an already disproportionately large and unattractive building and therefore would be harmful to the streetscene and would fail to preserve or enhance the character and appearance of the Conservation Area. The harm from the proposal is exacerbated by the prominence of the application building as every elevation would be highly visible from public views and would be harmful to the setting of the nearby Grade II Listed Buildings. The proposal would therefore be harmful to the significance of these designated heritage assets and is contrary to the guidance within the Urban Design Guide and the Conservation Area Design Guidelines (St Mary Magdalene), policies DM2.1 and DM2.3 of the Development Management policies document 2013, policies CS8 and CS9 of the Core Strategy 2011 and the NPPF 2012.

- 7.2 P2014/2364/FUL - Conversion of vacant ground floor store room to self-contained one-bedroom flat. Approved: 02/10/2015
- 7.3 P2013/3789/COL - Certificate of lawfulness in connection with the use of the property as existing use for residential C3 for 40 flats – Granted 07/11/13
- 7.4 P081421 - The conversion of common facilities and sub division of one, two bedroom flat to provide an additional six self-contained residential units. Withdrawn.

ENFORCEMENT:

- 7.5 None

PRE-APPLICATION ADVICE

- 7.6 Q2015/3773/MIN - The erection of a two storey roof extension to provide four two bedroom flats, together with a new single storey rear extension and cycle store, and the replacement of all windows with aluminium frames and zinc panels.

8. CONSULTATION

Public Consultation

- 8.1 Letters were sent to occupants of 103 adjoining and nearby properties at Bride Street, Liverpool Road, Ellington Street, Forrest Court and Amber Court on 19th August 2016. A site notice and press advert were displayed on 25th August 2016. The public consultation of the application therefore expired on 15th September 2016, however it is the Council's practice to continue to consider representations made up until the date of a decision.
- 8.2 At the time of the writing of this report a total of 6 objections had been received from the public with regard to the application. The issues raised can be summarised as follows (with the paragraph that provides responses to each issue indicated within brackets):
- Alters the character of the property contrary to Conservation Area rules and impacts the character of the area (10.4 - 10.13)
 - Proposal will destroy the visual integrity and aesthetic of the building (10.4 – 10. 13)
 - Proposal will impact on the built environment and its current listed status and would compromise the architectural cohesion of its design (10.4 – 10. 13)
 - Proposal sets a precedent for similar properties nearby (10.14)
 - Amenity impacts to neighbouring properties including loss of light and overlooking (10.18 – 10.25)
 - Increased density will add pressure on services and car parking (10.29)
 - Lack of social housing included in the proposal (10.2)
 - Proposed flats are luxury style accommodation, which will be detrimental to the overall balance of flats in the building and community (10.3)
 - Amber Court and Forrest Court were designed and built together and share important facilities such as emergency exits, which will be affected by proposal (10.35)
- 8.3 It must be noted that matters related to the financial gains of development, private information redacted from submitted documents and the background of the development company are not material planning considerations in the planning assessment of this application.

External Consultees

- 8.4 None

Internal Consultees

- 8.5 Design and Conservation Officer – the proposed additional floor is now sufficiently set back following pre-application discussions to ensure that its visual impact is within acceptable levels. No objection.
- 8.6 Inclusive Design Officer – The proposed units would have step free access and good internal circulation. No objections.
- 8.7 Sustainable Design Officer – The proposed details demonstrate commitment to achieving sustainable design objectives and states that a green roof and solar panels would be installed. Conditions are recommended for details of the proposed green roof and solar panels to ensure they comply with the relevant guidance and policies.

Other Consultees

- 8.8 None

9. RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents.

National Guidance

- 9.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.
- 9.2 Since March 2014 Planning Practice Guidance for England has been published online.

Development Plan

- 9.3 The Development Plan is comprised of the London Plan 2015 (Consolidated with Alterations since 2011), Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan that are considered relevant to this application are listed at Appendix 2 to this report.

Designations

- 9.4 The site has the following designations under the London Plan 2015, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:
- Hat and Feathers Conservation Area
 - Building Structure to be Retained
 - Central Activities Zone (CAZ)
 - Bunhill and Clerkenwell Core Strategy Key Area
 - Employment Priority Area – Finsbury Local Plan Policy BC8
 - Mayors Protected Vista – Alexandra Palace viewing deck to St Pauls Cathedral

Supplementary Planning Guidance (SPG) / Document (SPD)

- 9.5 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

- 10.1 The main issues arising from this proposal relate to:

- Land use;
- Design, conservation and heritage considerations;
- Standard of proposed residential environment;
- Neighbouring amenity;
- Highways, transport and refuse storage;
- Accessibility;
- Sustainable design;
- The securing of necessary contributions towards affordable housing and carbon offsetting.

Land-use

- 10.2 The application property is a four storey building comprising 40 residential units and within a primarily residential area. As such the creation of two additional residential units on an entirely

residential block is considered to be acceptable in principle subject to satisfying the normal policy requirements. There is no requirement to provide social or affordable housing on site for a scheme of this size as the development is subject to small sites affordable housing contributions in accordance with policy CS12. There are no land use based issues in regards to the proposed extension of the ground floor entrance.

- 10.3 The dwelling mix consists of a three-bedroom flat and a four bedroom flat and is acceptable in accordance with Development Management policy DM3.1, which supports the addition of large units to ensure there is a range of housing types in the borough including family sized units. Furthermore, the existing building contains 40 studio and 1-bedroom sized units and therefore the provision of a 3bedroom unit and 4bedroom unit is considered appropriate at this location to balance the current mix of dwelling types in the building. As such the principle of the proposed residential development is considered to be acceptable.

Design, Conservation and Heritage Considerations

- 10.4 Amber Court is a substantially sized building for the area, matched in height only by the nearby St Mary Magdalene School, which contains playing courts on the roof top surrounded by metal fencing. The building's design, which is characteristic of 1970's Council housing projects, contrasts with the surrounding Victorian built environment where within the Conservation Area; however its appearance does relate more closely with the post-war development along Bride Street.
- 10.5 The St Mary Magdalene Conservation Area serves to protect the special architectural and historic character and appearance of the area. The Conservation Area includes most of Amber Court and Forrest Court due to the Conservation Area boundary following the historic rear boundary line of properties that occupied the site prior to the construction of the housing developments, as can be seen in images 8 and 9 earlier in this report. It is considered that the design and appearance of Amber Court does not contribute to the special character and appearance of the Conservation Area and its inclusion within the boundary is curious, particularly given it doesn't follow the boundary of the existing property curtilage. However, it is located within close proximity to Victorian era Grade II Listed Buildings across Liverpool Road to the east and Ellington Street to the south, which are within the Conservation Area, and therefore the site is sensitive to the setting of these heritage assets.
- 10.6 The proposed development was originally submitted to the Council for pre-application advice as a two-storey roof extension for residential unit. It was advised that only a single storey roof extension would be acceptable in principle and would need to be significantly setback and as low in height as possible to reduce any perceived additional bulk, height and mass to the building. An amended scheme was submitted to the Council (ref: P2016/0719/FUL) for a roof extension and was refused on design grounds due to the size and scale of the roof extension, which would be visually prominent from viewpoints within the Conservation Area. Whilst the proposal was reduced to only a single storey roof extension, the proposal was not set back enough from the front and sides to mitigate its visual harm to the setting of the nearby heritage assets.
- 10.7 The proposed roof extension has been reduced in size by increasing the setback from the front and sides so that it would be well concealed from these sensitive viewpoints. The proposed roof extension is now setback 3.4m from the northern (the previous set back was 2.4m); 2.6m from the southern elevation (there was no previous set back); 3.5m from the eastern elevation (the previous set back was 1.5m); and setting back the glazed balustrade 1m into the site (there was no previous set back).
- 10.8 As demonstrated in the Design and Access Statement (see image 10 below), the proposed roof extension now would have very limited to no visibility from the nearby listed buildings opposite

on Liverpool Road and Ellington Street, which overcomes the main concerns of the previous application. There would be some limited visibility from longer views further north along Liverpool Road; however it is considered that at this distance the proposal would not draw attention any more than the existing building or other existing buildings outside of the Conservation Area. The proposed extension would be visible from Bride Street; however it is considered that this is not a sensitive viewpoint the proposal would not further detract from the appearance of the building or streetscene from this viewpoint.

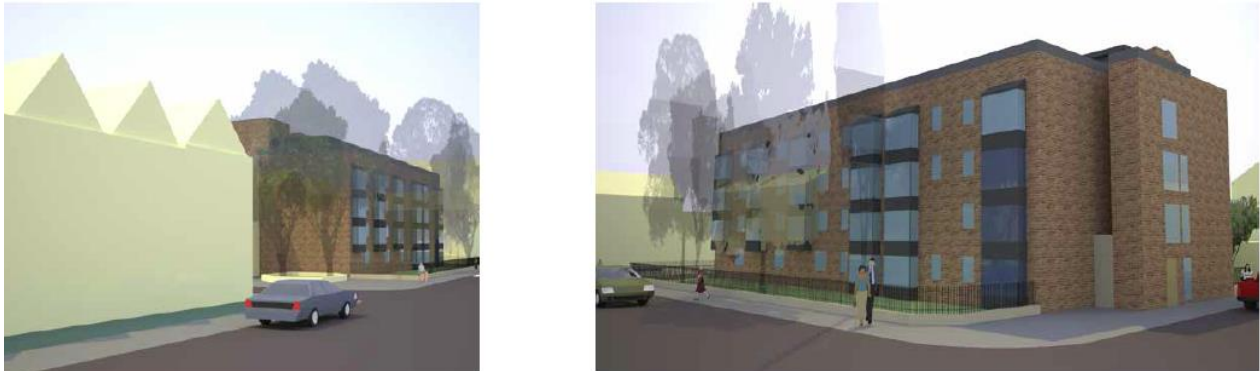


Image 10: Proposed Visuals from Liverpool Road approaching from the south (left) and opposite the junction of Bride Street (right).

- 10.9 The proposed roof extension, which would be of contemporary appearance with good quality materials, is considered to be of acceptable design and a suitable form of roof extension for the application property. Islington's Urban Design Guide states that "*Contemporary roof extensions typically incorporate modern materials (with a lightweight appearance such as glass and steel) and incorporate a vertical frontage and flat roof that is usually well set back behind the front parapet upstand. They are most appropriate on post-war or contemporary styled buildings.*" It is considered that the proposal is consistent with this guidance and would not result in a harmful impact on the setting of the nearby heritage assets. It is also considered to be of an acceptable appearance, bulk and massing where visible from public viewpoints along Bride Street and private views from nearby existing properties.
- 10.10 The proposed roof extension would include solar panels on the roof; however these are proposed to be installed horizontally so as not to visibly rise above the roof. The proposal also includes the replacement of external materials on the existing building, including replacement aluminium windows to match the existing and installation of zinc detailing above and below windows to replace any remaining lead cladding and where the original cladding has been unlawfully removed. Whilst like-for-like replacement lead would be ideal it is acknowledged that the material is susceptible to theft as already experienced at the site and therefore the full replacement in zinc in a matching colour is considered to be acceptable and provides uniformity to the overall appearance.
- 10.11 The proposed ground floor rear extension to create a new enclosed bicycle store or the new entrance lobby is considered to be a relatively small addition that would have minimal impact on the appearance of the building. The proposed extension would be of a suitable design; however it would not be in a prominent location and would not adversely impact the character of the area.
- 10.12 In regards to the historic connection of Forrest Court with the application property, it is considered that Amber Court has its own distinct frontage on a different street to Forrest Court and therefore can be viewed in its own context rather than needing to solely conform to the appearance of Forrest Court. Therefore it is considered that the overall scale and design of the proposed development would have an acceptable impact with regards to the appearance of the neighbouring Forrest Court. Furthermore, the proposed alterations to the building would

improve the visual appearance of the existing building, which together with proposed extensions are considered to have an overall positive contribution on the character and appearance of the urban realm.

- 10.13 For the above reasons, it is considered that the application would respect the scale, form and character of the existing host building and the character of the surrounding area. The design of the proposed development is acceptable and complies with Core Strategy policies CS8 and CS9, and Development Management policies DM2.1 and DM2.3 and the guidance within the Islington Urban Design Guide 2006. As such the design of the proposal is supported.
- 10.14 In response to concerns raised that the proposed development would set a precedent, it is reminded that planning applications are assessed on a case by case basis and therefore the permission of this application does not automatically allow roof extensions to other properties nearby.

Neighbouring Amenity

- 10.15 The Council's planning policies seek to ensure that new development does not harm the amenity of adjacent residents, either from loss of daylight, sunlight, privacy and overlooking, perceived sense of enclosure or noise. There have been a total of six objections raised to the proposal from members of the public following two rounds of consultation. Of these objections four raise concerns of amenity impacts including loss of light and overlooking impacts and are from residents of the neighbouring building (Forrest Court) and opposite Ellington Street to the south.
- 10.16 Consideration must be given to the neighbouring residential properties, in particular the existing units within Forest Court, which are closest to the proposed development, and those opposite Bride Street to the north, which would be most susceptible to overshadowing. Assessment of amenity impacts is also required for the properties opposite on Liverpool Road, which are less likely to be impacted due to their significant separation distance to the application property. The properties opposite on Ellington Street to the south are the furthest away from the application property and the concerns raised relate more to the precedent of a roof extension on Forrest Court and the amenity impacts that would lead from it.
- 10.17 The proposed development would be located on top of the existing roof without any overhang and therefore would not impact on the amenity of the existing units within Amber Court.

Overlooking Concerns

- 10.18 Policy DM2.1 notes that to protect privacy for residential developments and existing residential properties, there should be a minimum distance of 18 metres between windows of habitable rooms. This does not apply across the public highway; overlooking across a public highway does not constitute an unacceptable loss of privacy.
- 10.19 Amber Court and Forrest Court are positioned perpendicular to each other so that neither elevation directly faces the other with the exception of the narrow side internal facing wall of the thicker part of Forrest Court. However, this internal side elevation is only 8m in length and there is approximately 16m of separation between this elevation and the rear elevation of Amber Court. The rear elevation of Amber Court contains the rear windows of the existing flats whilst the rear elevation of Forrest Court contains balconies serving as the common access to the entrances of the flats and the two elevations already overlook each other at oblique angles.
- 10.20 The proposed roof extension would contain rear facing windows: the closest two to Forrest Court would serve the common hallway whilst those further away serve internal parts of the new dwelling. The windows would only gain oblique views to the common access balconies on the

rear elevation of Forrest Court and therefore it is considered that there is no increase in adverse overlooking impact of this elevation of Forrest Court. The rear windows of the proposed extension have been measured on the plans and are found to all be over 18m in distance from the internal side facing elevation of Forrest Court, which is considered to be an acceptable distance between the windows in accordance with the London Plan. Furthermore, the significant distance and oblique angle between the rear facing windows of the proposal and rear elevation of the thicker part of Forrest Court is acceptable to mitigate overlooking impacts.

Daylight/Sunlight Analysis

10.21 The applicant has also provided a daylight sunlight analysis in support of the scheme including appendices highlighting the windows assessed, which provides a detailed examination using accurate modelling of the impact of the proposal on the adjoining properties. It concludes that all habitable windows of the neighbouring properties pass the daylight and sunlight analysis tests. Both the Vertical Sky Component test and Daylight Distribution Test satisfied the BRE daylight requirements. All windows which face 90 degree of due south have been tested for direct sunlight. Each of these windows pass both the total annual sunlight hours test and the winter sunlight hours test and therefore also pass the BRE direct sunlight to windows requirements. As such there would be no impact on daylight / sunlight to any of the neighbouring properties.

Other amenity concerns

10.22 The proposed roof extension, by reason of its size, location and the openness of the locality is considered not to result in overbearing impacts and would not increase the sense of enclosure to an unacceptable degree. The proposed ground floor extension, due to its relatively small size and nature as a common area, would also be unlikely to result in unacceptable amenity impacts on the neighbouring properties. Furthermore, the area immediately adjoining the proposed ground level extension on is a common amenity space area within Forrest Court and is already overshadowed by the existing developments.

10.23 There are no plant or machinery items on the existing roof that would require to be relocated. The new roof terrace areas are long but narrow and therefore their use would be unlikely to result in noise disturbance to neighbouring properties. As such the application would not raise concerns in regards to adverse noise or vibration impacts.

10.24 There is expected to be a level of noise and disruption with any building work and this proposal is not considered to represent any additional harm to neighbouring occupiers than reasonably expected. The Council has powers under the Control of Pollution Act to restrict the hours of noisy working. The application includes the replacement of the existing windows to Amber Court, which are due for replacement and therefore can be carried out during the proposed extension works to avoid further disruption in the near future.

10.25 For the above reasons the proposal would be unlikely to result in adverse amenity impacts to neighbouring properties in accordance with Development Management policy DM2.1.

Standard of living environment

10.26 The proposed three-bedroom flat contains a floorspace area of 97sqm and the proposed four-bedroom flat contains a floorspace area of 131sqm, which complies with the minimum floorspace requirements under Development Management policy DM3.4 and the London Plan as illustrated in the table below. The amenity space for both proposed unit is approximately 55sqm, which exceeds the minimum requirement of 30sqm for family sized flats in accordance with policy DM3.5.

Unit	Number of Bedrooms and Occupants	Size Required Policy DM 3.4	Actual Size
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1	3b5p	86	97
2	4b6p	99	131

- 10.27 The proposed flats would be dual aspect with the main living areas and amenity spaces having acceptable outlook and access to daylight / sunlight. The layout of the proposed flats is considered to be acceptable with sufficiently sized rooms and storage spaces to comply with Category 2 of the National Housing Standards.
- 10.28 It is considered that the proposal would provide acceptable internal living environments and space standards. Overall, the general layout, room sizes and internal floor space (including private amenity space) would meet the recommended guidance set in DM3.4 & DM3.5 of the Development Management Plan and would provide satisfactory living condition for future occupiers of the dwelling.

Highways, Transportation

- 10.29 Bicycle storage capable of containing 12 bicycle parking spaces has been indicated on the proposed plans at ground level as required to cater for the additional flats in accordance with policy DM8.4. There are no new car parking spaces proposed in accordance with the policy DM8.5 and the s106 unilateral undertaking includes an agreement that prevents future residents from obtaining a car parking permit. An informative is also included informing the applicant that parking permits will not be issued.

Refuse facilities

- 10.30 The details within the application state that accessible facilities for the storage of waste, recycling and composting materials would be provided at ground level. Currently there are bins stored within the common access area off Bride Street and there would be no lack of space to provide additional waste and recycling storage to cater for the demand from the proposed units. As such it is considered that details of this for approval can be conditioned as part of an approval.

Accessibility

- 10.31 The plans have been considered by the Council's inclusive design officer who has advised that the proposed flats would comply with the accessibility requirements for Category 2 dwellings under that National Housing Standards and Islington Development Management policies DM2.2 and DM3.4. A condition has been attached to ensure that the proposal achieve Lifetimes homes standards (category 2). The existing elevator is proposed to be extended up to roof level to provide step free access to the new units and emergency fire escape access would also be provided. The proposal is therefore considered acceptable given that the restrictions in terms of the scale of the extension, and the units would generally conform to accessible standards set within the Supplementary Design Guide (Inclusive Design) and would be contrary to Policy DM 2.2 (Inclusive Design) of the Development Management Plan 2013.

Sustainable Design

- 10.32 A Sustainable Design and Construction Statement was submitted with the application as required by policy DM7.1 for new residential units. The report provides details of water efficiency calculations for building regulations and design stage SAP report demonstrating that an adequate standard of sustainable design can be achieved. The details also indicate that a green roof and solar panels would be provided on the roof of the proposed extension.

10.33 Policy DM6.5 requires developments to maximise the provision of green roofs, which must maximise benefits for biodiversity, sustainable drainage and cooling. Therefore a condition is included requiring details for approval of the green roof to ensure that it meets the requirements of the policy and guidance. Another condition is included also requiring details for approval of the solar panels, which are to be laid horizontally on the roof as stated in the Sustainable Design and Construction Statement, to ensure their installation does not impact the appearance of the development.

Small sites (affordable housing) and carbon Off-setting contributions

10.34 The development requires a contribution towards affordable housing in the Borough, in line with policy CS12 of the Core Strategy and the councils Supplementary Planning Document- 'Affordable housing- small sites' 2012. A unilateral undertaking between the Council and the applicant is currently being finalised to secure payment of £100,000 towards affordable housing. A further contribution of £2,000 will be secured towards carbon off-setting. Therefore the application complies with policy CS12G of the Islington Core Strategy 2011, Development Management Policy DM7.2 and the Islington Affordable Housing Small Sites Contributions SPD.

Other Matters

10.35 There is no right of access to Forrest Court for an emergency escape, nor does Amber Court have any right of access over Forrest Court building. In addition, Amber Court has staircases at both ends of the corridor that serve all floors. Therefore, the proposed works will not affect the means of escape for any of the tenants in either Amber Court or Forrest Court. The submitted plans clearly show the existing emergency access from Amber Court, located on the northern elevation of the property, which will remain unaffected through proposals.

11. SUMMARY AND CONCLUSION

Summary

11.1 The proposed development is acceptable in design, scale, massing and visual terms and would form a contextual addition to the host building without adversely impacting on the nearby heritage assets. The proposed design and setbacks would integrate well with the host building and would adequately address the surrounding built form in terms of height to ensure that the development would not appear as a dominant or discordant feature when seen from the surrounding public and private realm.

11.2 The proposal would not result in any material adverse impact on adjoining resident's amenity levels in terms of loss of daylight/sunlight, nor any material loss of outlook or increase in enclosure levels. The proposed new flats offer a good standard of amenity for future occupiers and provides additional refuse and bike facilities for the uplift of units.

Conclusion

11.3 It is recommended that planning permission be granted subject to the unilateral undertaking and the conditions as set out in Appendix 1 – RECOMMENDATION A.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following:

List of Conditions:

1	<p>Commencement</p> <p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	<p>Approved plans list</p> <p>CONDITION: The development hereby permitted shall be carried out in accordance with the following approved plans:</p> <p>Drawing Numbers:150601/01, 150601/02, 150601/03, 150601/04, 150601/05, 150601/06, 150601/07, 150601/08, 150601/09, 150601/10, 150601/11, 150601/12, 150601/13, 150601/14 Rev H, 150601/15 Rev H, 150601/16 Rev E, 150601/17 Rev J, 150601/18 Rev H, 150601/19 Rev H, 150601/20 Rev H, 150601/21 Rev H, 150601/22 Rev H, 150601/23 Rev J, 150601/24 Rev H, 150601/25 Rev H, 150601/26 Rev H, 150601/27 Rev H, Design Statement prepared by URL, Heritage Statement prepared by 178a Ltd, Planning Statement prepared by 178a Ltd, Daylight & Sunlight Report prepared by eb7 and Sustainable Design and Construction Statement prepared by Abba Energy Ltd.</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Planning Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning.</p>
3	<p>Materials (Details)</p> <p>CONDITION: Details and samples of all facing materials shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure work commencing on site. The details and samples shall include:</p> <ul style="list-style-type: none"> a) solid brickwork (including brick panels and mortar courses) b) window surround detailing (including colour, texture and method of application); c) window/door treatment (including sections and reveals); d) roofing materials; e) balustrading treatment (including sections); f) any other materials to be used. <p>The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
4	<p>Accessible Homes Standards - (Compliance):</p> <p>CONDITION: Notwithstanding the Design and Access Statement and plans hereby approved, the dwelling shall be constructed to Category 2 of the National Standard for</p>

	<p>Housing Design as set out in the Approved Document M 2015 'Accessible and adaptable dwellings' M4 (2).</p> <p>Evidence, confirming that the appointed Building Control body has assessed and confirmed that these requirements will be achieved shall be submitted to and approved in writing by the LPA prior to any superstructure works beginning on site.</p> <p>The development shall be constructed strictly in accordance with the details so approved.</p> <p>REASON: To secure the provision of visitable and adaptable homes appropriate to meet diverse and changing needs, in accordance with LPP 3.8</p>
5	<p>Refuse/Recycling Provided (Details)</p> <p>REFUSE / RECYCLING STORAGE (DETAILS): Details of the layout, design and appearance (shown in context) of the refuse / recycling enclosure shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing onsite.</p> <p>REASON: To secure the necessary physical waste enclosures to support the development and to ensure that responsible waste management practices are adhered to and to ensure the appearance and character of the Conservation Area is preserved.</p>
6	<p>Visual Screens (Compliance)</p> <p>CONDITION: The visual screens to roof terraces shown on the drawings hereby approved shall be installed prior to the first occupation of the development and shall be maintained as such thereafter.</p> <p>REASON: To prevent undue overlooking (oblique, backwards or otherwise) of neighbouring habitable room windows.</p>
7	<p>Car Permits (Compliance)</p> <p>CONDITION: All future occupiers of the residential unit hereby approved shall not be eligible to obtain an on street residents' parking permit except:</p> <ul style="list-style-type: none"> i) In the case of disabled persons; ii) In the case of units designated in this planning permission as "non car free"; or iii) In the case of the resident who is an existing holder of a residents' parking permit issued by the London Borough of Islington and has held the permit for a period of at least one year. <p>REASON: To ensure that the development remains car free in accordance with policies 6.3 and 6.13 of the London Plan 2011, policy CS18 of the Islington Core Strategy 2011 and policy DM8.5 of the Development Management Policies.</p>
8	<p>Cycle Parking Provision (Compliance)</p> <p>CONDITION: The bicycle storage area(s) shown on plan no. 150601/16 Rev E hereby approved, which shall be covered, secure and provide for no less than [12] bicycle spaces shall be provided prior to the first occupation of the development hereby approved and maintained as such thereafter.</p> <p>REASON: To ensure adequate cycle parking is available and easily accessible on site and to promote sustainable modes of transport.</p>
9	<p>Green Biodiversity Roof (Details)</p> <p>CONDITION: Details of the biodiversity (green) roof shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site. The biodiversity (green/brown) roof(s) shall be:</p> <ul style="list-style-type: none"> a) biodiversity based with extensive substrate base (depth 80-150mm); b) maximise the extent of the new roof area to be covered by a green roof; and c) planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (the seed mix shall be focused

	<p>on wildflower planting, and shall contain no more than a maximum of 25% sedum).</p> <p>The biodiversity (green/brown) roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency.</p> <p>The biodiversity roof(s) shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity.</p>
10	<p>Photovoltaic (PV) Solar Panels (Details):</p> <p>CONDITION: Details of the photovoltaic (PV) solar panels to be installed on the roof of the extension hereby approved shall be submitted to and approved in writing by the Local Planning Authority prior to any works commencing on site.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
12	<p>Construction Method Statement (Details)</p> <p>CONDITION: Construction Method Statement (Details): No development shall take place on site unless and until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:</p> <ul style="list-style-type: none"> i. the parking of vehicles of site operatives and visitors ii. loading and unloading of plant and materials iii. storage of plant and materials used in constructing the development iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate v. wheel washing facilities vi. measures to control the emission of dust and dirt during construction vii. a scheme for recycling/disposing of waste resulting from demolition and construction works viii mitigation measures of controlling noise from construction machinery during business hours xi. site access plan - detailing which roads will be used to access the site. <p>The development shall be carried out strictly in accordance with the details so approved and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: To ensure that the development does not adversely impact on neighbouring residential amenity due to its construction and operation.</p>

List of Informatives:

1	<p>Positive Statement</p> <p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged.</p> <p>The LPA and the applicant have worked positively and proactively in a collaborative manner through both the pre-application and the application stages to deliver an</p>
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	<p>acceptable development in accordance with the requirements of the NPPF.</p> <p>The LPA delivered the decision in a timely manner in accordance with the requirements of the NPPF.</p>
3	<p>Community Infrastructure Levy (CIL) (Granting Consent)</p> <p>INFORMATIVE: Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), this development is liable to pay the Mayor of London's Community Infrastructure Levy (CIL). This will be calculated in accordance with the Mayor of London's CIL Charging Schedule 2012. One of the development parties must now assume liability to pay CIL by submitting an Assumption of Liability Notice to the Council at cil@islington.gov.uk. The Council will then issue a Liability Notice setting out the amount of CIL that is payable.</p> <p>Failure to submit a valid Assumption of Liability Notice and Commencement Notice prior to commencement of the development may result in surcharges being imposed. The above forms can be found on the planning portal at: www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil</p> <p>Pre-Commencement Conditions: These conditions are identified with an 'asterix' * in front of the short description. These conditions are important from a CIL liability perspective as a scheme will not become CIL liable until all of these unidentified pre-commencement conditions have been discharged.</p>
4	<p>Car-Free Development</p> <p>INFORMATIVE: All new developments are car free. This means that no parking provision will be allowed on site and occupiers will have no ability to obtain car parking permits, except for parking needed to meet the needs of disabled people.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Since March 2014 Planning Practice Guidance for England has been published online.

2. Development Plan

The Development Plan is comprised of the London Plan 2015, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2015 - Spatial Development Strategy for Greater London, Consolidated with Alterations since 2011

1 Context and strategy

Policy 1.1 Delivering the strategic vision and objectives for London

3 London's people

Policy 3.3 Increasing housing supply
Policy 3.4 Optimising housing potential
Policy 3.5 Quality and design of housing developments
Policy 3.8 Housing choice
Policy 3.9 Mixed and balanced communities
Policy 3.10 Definition of affordable housing
Policy 3.11 Affordable housing targets
Policy 3.12 Negotiating affordable housing on individual private residential and mixed use schemes
Policy 3.13 Affordable housing thresholds
Policy 3.15 Coordination of housing development and investment

8 Implementation, monitoring and review

Policy 8.1 Implementation
Policy 8.2 Planning obligations
Policy 8.3 Community infrastructure levy
Policy 8.4 Monitoring and review for London

5 London's response to climate change

Policy 5.2 Minimising carbon dioxide emissions
Policy 5.3 Sustainable design and construction

6 London's transport

Policy 6.3 Assessing effects of development on transport capacity
Policy 6.9 Cycling

7 London's living places and spaces

Policy 7.1 Building London's neighbourhoods and communities
Policy 7.2 An inclusive environment
Policy 7.3 Designing out crime
Policy 7.4 Local character
Policy 7.6 Architecture
Policy 7.8 Heritage assets and archaeology

B) Islington Core Strategy 2011

Spatial Strategy

Policy CS8 (Enhancing Islington's Character)

Strategic Policies

Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

Policy CS10 (Sustainable Design)

Policy CS11 (Waste)

Policy CS12 (Meeting the Housing Challenge)

C) Development Management Policies June 2013

Design and Heritage

DM2.1 Design

DM2.2 Inclusive Design

Housing

DM3.1 Mix of housing sizes

DM3.4 Housing standards

DM3.5 Private outdoor space

Transport

DM8.4 Walking and cycling

DM8.5 Vehicle parking

Energy and Environmental Standards

DM7.1 Sustainable design and construction statements

DM7.2 Energy efficiency and carbon reduction in minor schemes

DM7.4 Sustainable design standards

Infrastructure

DM9.1 Infrastructure

DM9.2 Planning obligations

DM9.3 Implementation

5. Designations

The site has the following designations under the London Plan 2015, Islington Core Strategy 2011, Development Management Policies 2013, and Site Allocations 2013:

- St Mary Magdalene Conservation Area

7. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington Local Plan

- Accessible Housing in Islington
- Urban Design Guide Conservation Area Design Guidelines
- Planning Obligations and S106
- Small Sites Contribution

London Plan

- Accessible London: Achieving and Inclusive Environment
- Housing